

PRINCESS STREET

(DEDICATED BY REGISTERED PLAN 37)



SITE STATISTICS

ZONING DESIGNATION - GENERAL INDUSTRIAL ZONE (M2-22)
 LOT AREA 1.655 ha 4.09 acres
 LOT FRONTAGE 131.52 m

COVERAGE	MAXIMUM	PROVIDED
ROOF SURFACE	65.0%	49.9%
GRAVEL SURFACE		43.3%
ASPHALT SURFACE		2.1%
SUB-TOTAL		49.9%
EX. LANDSCAPED		50.1%
TOTAL		100.0%

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EX. BUILDING HEIGHT	11.0m	8.89m
PROP. AUX. BUILDING HEIGHT	11.0m	7.62m
PERMITTED OUTDOOR STORAGE AREA	= 30% OF LOT	= 4,965 m ²

EX. BUILDING INFO

BUILDING	GFA (m ²)	GFA (sf)	UNITS
EX. BUILDING A	465	5,000	1
PROP. STOR. BLDG	278	3,000	1
TOTAL	743	8,000	1

PARKING

	REQUIRED	EXISTING
STD. STALL DIMENSION	2.75 x 5.8m	2.75 x 5.8m
STD. PARKING STALLS	5	6
H/C STALL DIMENSION	4.8 x 5.75m	4.8 x 5.8m
H/C PARKING STALLS	1	1
TOTAL:	6	7

DRIVE AISLE WIDTH
 MIN 3.0m
 MAX 9.0m

SURVEY INFORMATION

PART OF LOT 11
 CONCESSION 8
 TOWN OF EAST GWILLIMBURY

PREPARED BY:
 GUIDO PAPA SURVEYING
 A DIVISION OF J.D. BARNES LIMITED
 9135 KEELE STREET, UNIT B7
 VAUGHAN, ONTARIO, L4K 0J4
 tel: 289.553.5961
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NO.	REVISION	BY	DATE
0	ISSUED FOR TOWN SITE PLAN APPROVAL	P.F.A.	10 JAN 2023

REVISIONS

CLIENT:
 MOUNT ALBERT INVESTMENT CORPORATION

MUNICIPALITY:
 TOWN OF EAST GWILLIMBURY
 ENGINEERING AND CONSTRUCTION SERVICES

PROJECT NAME:
 23 PRINCESS STREET
 INDUSTRIAL PROPERTY USE

DRAWING TITLE:
 SITE PLAN

PROJECT NO.	DWG NO.	REV. NO.
14135	SP-1	0

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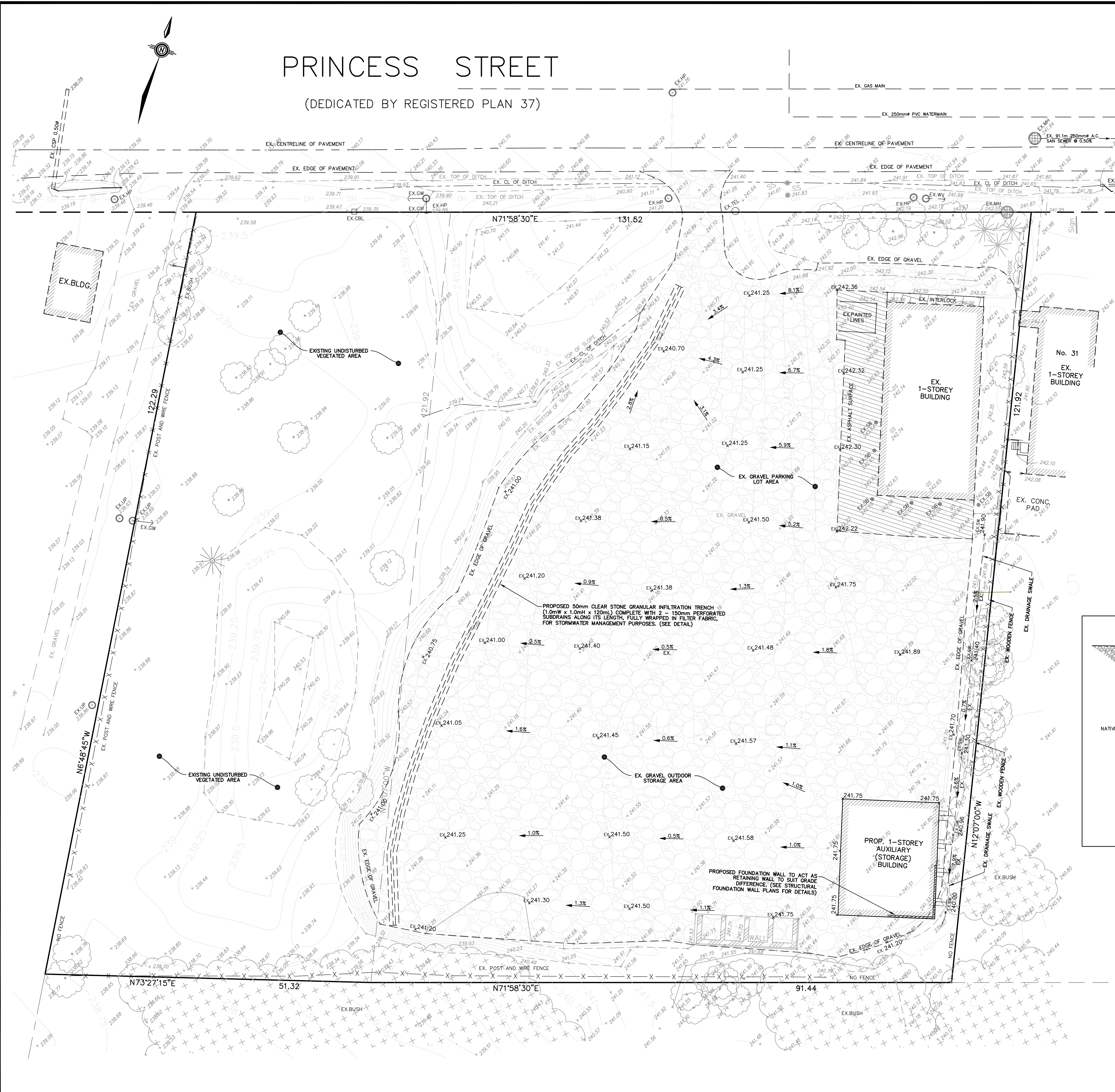
PROFESSIONAL ENGINEER
 J. P. ALBANESE
 10 JAN 2023
 PROVINCE OF ONTARIO

DWN. BY:	P.F.A.
DESIGNED BY:	P.F.A.
CHECKED BY:	P.F.A.
SCALE:	1:300
DATE:	DEC. 2022
SHEET NO.:	1 OF 3

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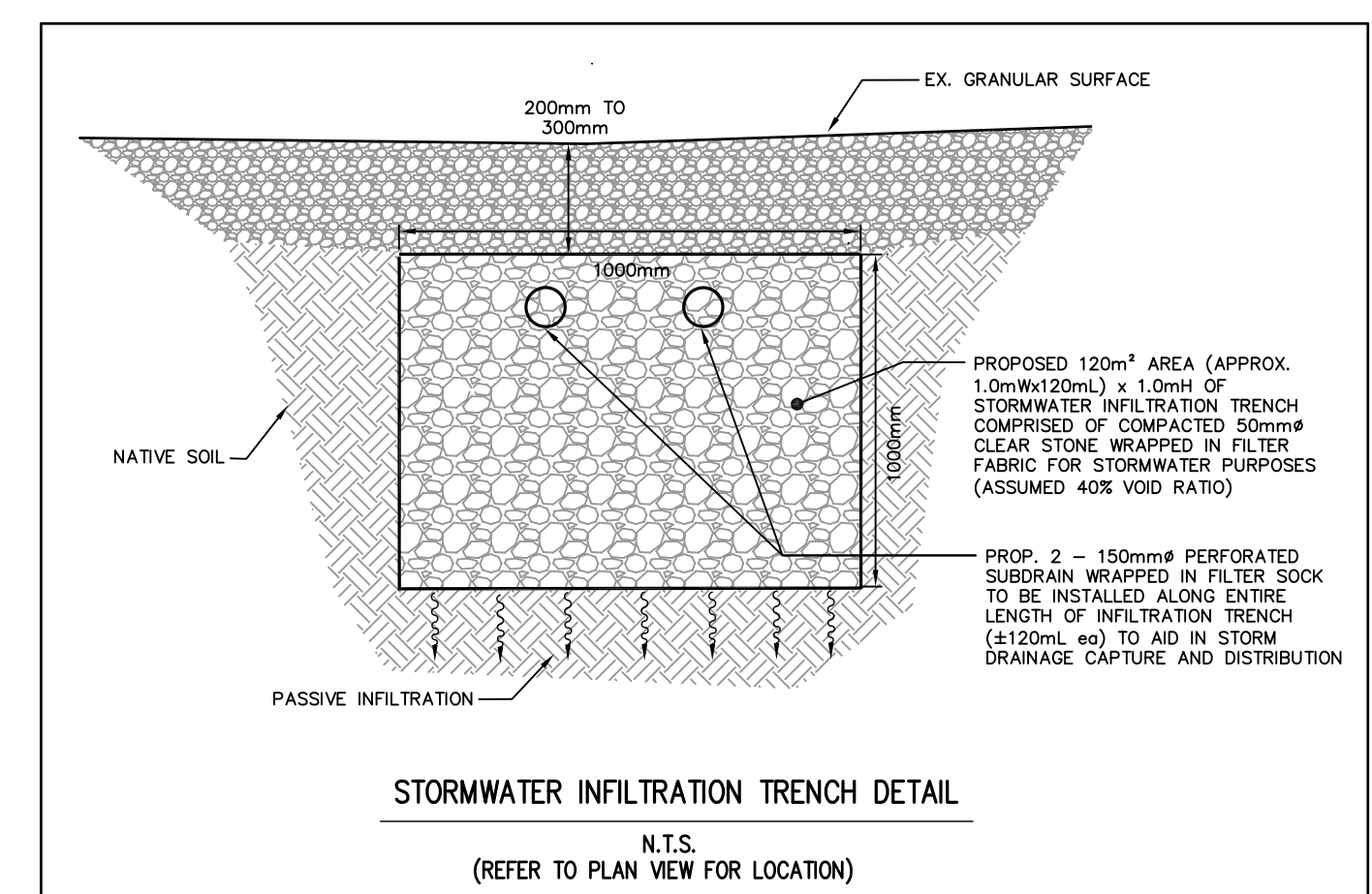
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- GENERAL NOTES:**
- ALL WORK TO CONFORM TO THE LATEST TOWN OF EAST GWILLIMBURY STANDARD DRAWINGS AND SPECIFICATIONS AS WELL AS THE LATEST ADOPTED ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS.
 - ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT 'OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS'. THE GENERAL CONTRACTOR SHALL BE DEEMED TO BE THE CONSTRUCTOR AS DEFINED IN THE ACT.
 - ALL TEMPORARY TRAFFIC CONTROL AND SIGNAGE DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ONTARIO TRAFFIC MANUAL BOOK 7: TEMPORARY CONDITIONS FIELD EDITION.
 - ALL TRENCHES WITHIN EXISTING RIGHT OF WAY SHALL BE BACKFILLED WITH UNSHRINKABLE FILL. TEMPORARY REPAIRS TO UTILITY CUTS WILL BE AS PER MUNICIPAL CONSENT REQUIREMENTS, APPENDIX D, TEMPORARY REPAIRS TO UTILITY CUTS.
 - THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO THE ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE TOWN.
 - PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR OR DEVELOPER WILL OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FROM THE TOWN'S RIGHT-OF-WAY MANAGEMENT UNIT.
 - ALL SURVEY POINTS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE LAYOUT SHALL BE REPORTED TO THE CONSULTING ENGINEER/TOWN AND THE CONSULTING ENGINEER/CITY SHALL NOTIFY THE CITY OF THE NECESSARY CHANGES.
 - CONTRACTOR SHALL VERIFY AND MATCH EXISTING PAVEMENT STRUCTURE IN DEPTH AND MATERIAL. ANY DISCREPANCIES BETWEEN EXISTING AND LATEST STANDARD PAVEMENT STRUCTURE SHALL BE REPORTED TO THE CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION AND APPROPRIATE ACTION TAKEN TO THE SATISFACTION OF THE TOWN OF EAST GWILLIMBURY.
 - ANY DAMAGE TO PROPERTY ADJACENT TO THE CONSTRUCTION SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - SIGNAGE (BUILDING ADDRESS) TO BE VISIBLE FROM THE STREET.

- GRADING NOTES:**
- ALL AREA GRADING AND RESULTING DRAINAGE PATTERNS SHALL REMAIN AS EXISTING AND SHALL NOT ADVERSELY AFFECT ADJACENT LANDS.
 - NO ALTERATIONS TO EXISTING BOUNDARY ELEVATIONS OR ADJACENT LANDS SHALL BE UNDERTAKEN UNLESS WRITTEN AGREEMENT WITH THE ADJACENT PROPERTY OWNER IS OBTAINED AND SUBMITTED IN A FORMAT ACCEPTABLE TO THE TOWN.
 - ALL SWALES OR DITCHES HAVING A VELOCITY IN EXCESS OF 1.5 METRES/SECOND SHALL BE DESIGNED TO INCORPORATE EROSION PROTECTION.
 - MAXIMUM PONDING DEPTH OF 0.3m.



METRIC
ALL DIMENSIONS AND ELEVATIONS ARE IN METRES UNLESS OTHERWISE SHOWN



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LEGEND

X	123.45	EXISTING ELEVATION
X	123.45	PROPOSED ELEVATION
X/BW	123.45	PROP BOTTOM OF RETAINING WALL ELEV
X/TW	123.45	PROP TOP OF RETAINING WALL ELEV
X/BC	123.45	PROP BOTTOM OF CURB ELEVATION
X/TC	123.45	PROP TOP OF CURB ELEVATION
X/SW	123.45	PROP SWALE ELEVATION
X/CB	123.45	PROP TOP OF CATCHBASIN ELEVATION
X/CB/INV	123.45	PROP ELEVATION OF CATCHBASIN INVERT
→		DRAINAGE FLOW DIRECTION AND SLOPE
→		PROP OVERLAND FLOW DIRECTION
V&B		EX. VALVE AND BOX
MH.1A		EX. SANITARY MANHOLE
EX-FH		EX. VALVED HYDRANT
FTF	123.45	ELEVATION AT FIRST FINISHED FLOOR
FTW	123.45	ELEVATION AT TOP OF FOUNDATION WALL
		EX. GRAVEL PARKING LOT AND OUTDOOR STORAGE AREA

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REVISIONS

NO.	REVISION	BY	DATE

CLIENT: MOUNT ALBERT INVESTMENT CORPORATION

fabian papa & partners
A Division of FP&P HydroTech Inc.
3901 Highway 7, Suite 500
Vaughan, Ontario, L4L 8L5
T 905-264-2420
www.fabianpapa.com

MUNICIPALITY: TOWN OF EAST GWILLIMBURY
ENGINEERING AND CONSTRUCTION SERVICES

PROJECT NAME: 23 PRINCESS STREET
INDUSTRIAL PROPERTY USE

DRAWING TITLE: SITE GRADING PLAN

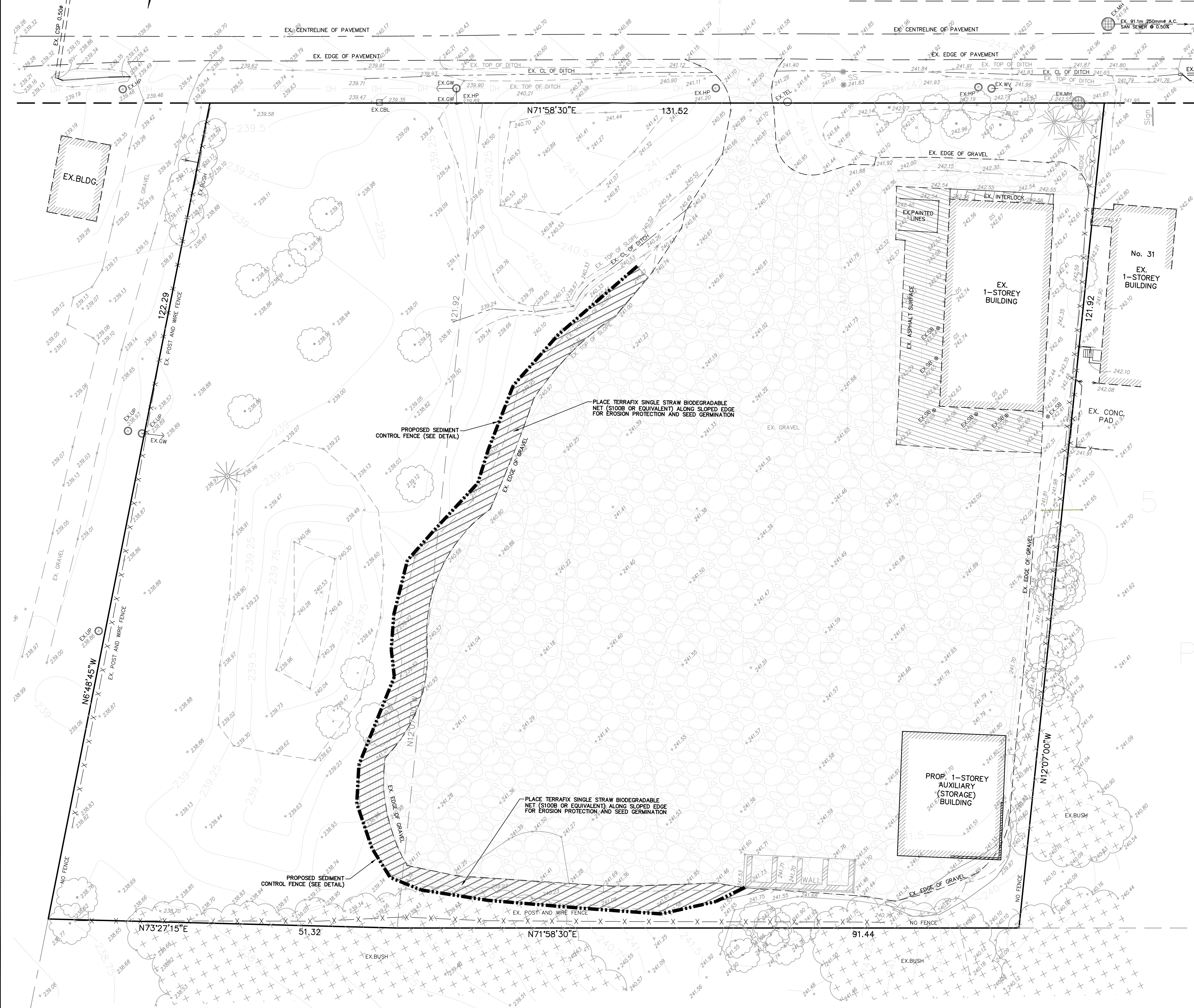
DWN. BY: P.F.A.
DESIGNED BY: P.F.A.
CHECKED BY: P.F.A.
SCALE: 1:300
DATE: DEC. 2022
SHEET NO: 2 OF 3

PROFESSIONAL ENGINEER
P.F. ALBANESE
10 JAN 2023
PROVINCE OF ONTARIO

PROJECT NO: 14135
DWN NO: SGP-1
REV NO: 0

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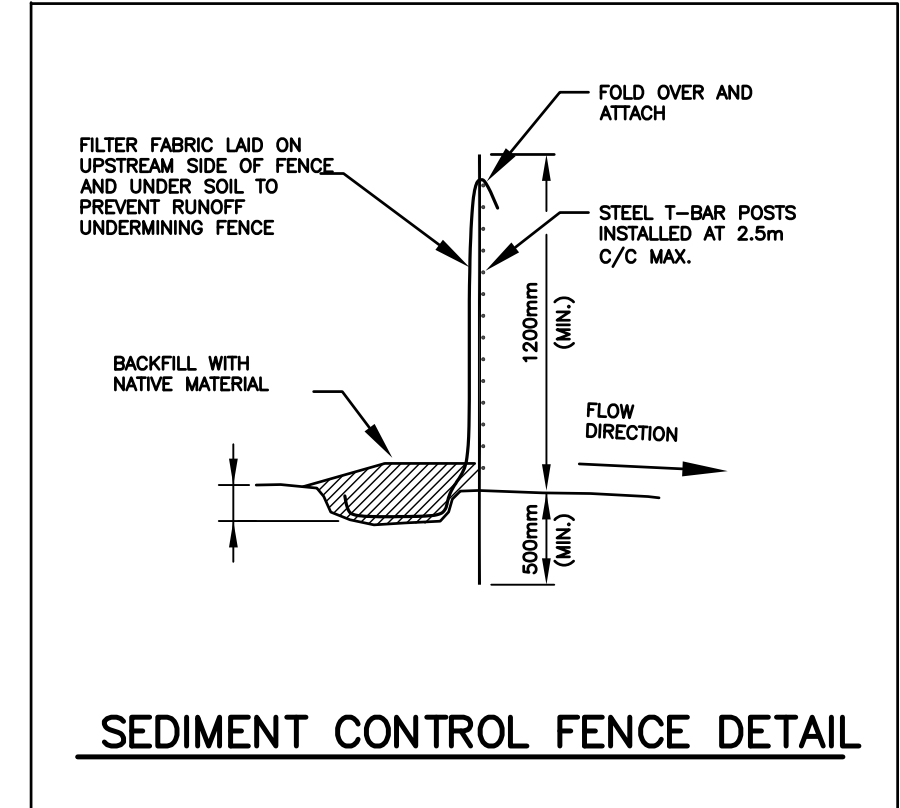


- EROSION AND SEDIMENT CONTROL NOTES:**
1. SEDIMENT BARRIERS, CHECK DAMS, AND TEMPORARY CONSTRUCTION BARRIERS ACCESS TO BE INSTALLED PRIOR TO THE BEGINNING OF CONSTRUCTION.
 2. ALL SEDIMENT CONTROL DEVICES TO BE ROUTINELY INSPECTED AND MAINTAINED IN PROPER WORKING ORDER UNTIL AREA IS STABILIZED.
 3. THE SITE WILL BE WET DOWN IF NECESSARY TO CONTROL DUST.
 4. SEDIMENT CONTROL FENCE TO BE AS PER DETAIL ON THIS PLAN.
 5. ALL CONSTRUCTION VEHICLES TO ENTER AND EXIT SITE FROM TEMPORARY CONSTRUCTION ACCESS.
 6. ALL TOPSOIL STOCKPILES (IF ANY) TO BE SURROUNDED WITH SEDIMENT CONTROL FENCING.
 7. STREET SWEEPING, CATCH BASIN CLEANING AND DUST CONTROL ARE THE RESPONSIBILITY OF THE DEVELOPER AND MUST BE KEPT UNDER CONTROL ON ALL ROADWAYS TO THE SATISFACTION OF THE TOWN.

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terrafix
geosynthetics inc.

S100B
Specification Sheet

The S100B (Straw Single Net) erosion control blanket (ECB) consists of the finest available agricultural straw with 75% four-inch fibers or greater fiber length, and is certified weed seed free. Product is 100% biodegradable. The straw fibers are evenly distributed throughout the entire area of the blanket. The top of each blanket is covered with biodegradable Jute netting.

Product Nomenclature & Properties

- S = 100% straw
- B = the top and bottom of each blanket is covered with biodegradable Jute netting.
- 100 = biodegradable Jute netting

Index & Bench Scale Testing

Test Description	Test Method	Test Results
Thickness	ASTM D6525	0.31 in (7.87 mm)
Light Penetration	ASTM D6567	8.60%
Mass per Unit Area	ASTM D6475	0.43 lb/yd ² (233 g/m ²)
MD - Tensile Strength (max.)	ASTM D6818	199.2 lbm (2.92 kNm)
TD - Tensile Strength (max.)	ASTM D6818	121.2 lbm (1.78 kNm)
MD - Elongation	ASTM D6818	6.50%
TD - Elongation	ASTM D6818	4.50%
Water Absorption	ASTM D1117/ECTC	408.00%
Bench-Scale Rain Splash	ECTC Method 2	SLR = 6.49 @ 2 in/hr
Bench-Scale Rain Splash	ECTC Method 2	SLR = 9.94 @ 4 in/hr
Bench-Scale Rain Splash	ECTC Method 2	SLR = 12.33 @ 8 in/hr
Bench-Scale Shear	ECTC Method 3	1.45 lb/ft ² @ 0.5" soil loss
Germination Improvement	ECTC Method 4	154%

Design Values

- C-factor = 0.050
- Shear Stress (Unvegetated) = 1.55 lb/ft² (74 Pa)
- Velocity (Unvegetated) = 4.5 ft/s (1.4 m/sec)
- Functional Longevity: ≤ 12 months

Standard Roll Details

- Width: 2.4m (8ft) Standard
- Length: 34.3m (112.5ft)
- Area: 83.3m² (100yd²)
- Weight: 22.7kg (50lb)
- Mass per Unit Area (± 10%): 0.27 kg/m² (0.50 lb/yd²)
- Net Openings (FibreWeb-Jute): 25.4 mm x 12.7 mm (± 1.0 in x 0.5 in)

*Weight is based on a dry fibre weight basis at time of manufacture. Reserve moisture content of straw and coconut fibre is 15% and 25%, respectively.

PHONE: (416)674-0353 • WWW.terrafixgeo.com • FAX: (416)674-1159
455 Homer Ave., Toronto, ON, M8V 4V9

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CLIENT: MOUNT ALBERT INVESTMENT CORPORATION



MUNICIPALITY: TOWN OF EAST GWILLIMBURY
ENGINEERING AND CONSTRUCTION SERVICES

PROJECT NAME:
23 PRINCESS STREET
INDUSTRIAL PROPERTY USE

DRAWING TITLE:
EROSION & SEDIMENT CONTROL PLAN

DWN. BY: P.F.A.
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PROJECT NO: 14135
DWG NO: ESC-1
REV. NO: 0