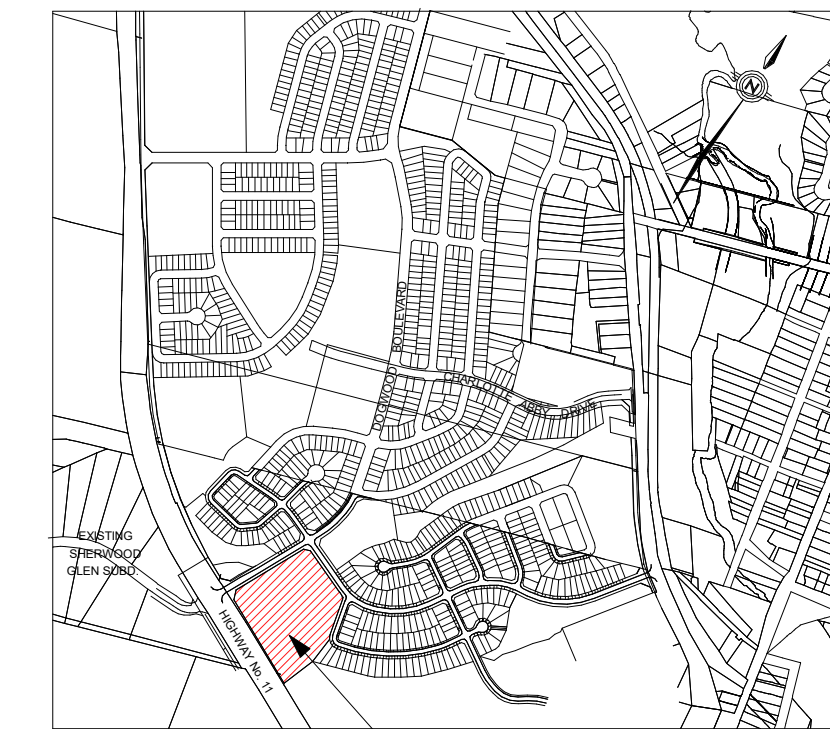


Description	
1	SPA SUBMISSION 2
2	Dec 19, 2022



Key Plan
1 : 1000

Notes

- Flat Roof membranes to have a 3-Year aged SRI of 64 or greater.
- 15% of units provide barrier-free path of travel from unit entrance to at least one bedroom, one bathroom, kitchen and living room.
- All at-grade parking shown is Visitor Parking.
- All water closets or faucets to be high-efficiency WaterSense® labeled or meet the following maximum flow requirements, whichever is more restrictive: high efficiency toilets (max. flow of 4.0 L/fush OR 3/6 L/fush siphonic dual flush toilets) & low flow lavatory faucets (max. flow of 5.7 L/min)
- 100% of exterior light fixtures are LED and are shielded or down-facing to reduce the amount of glare and light trespass experienced by neighbouring properties, and to reduce light pollution and energy use.
- For Fire Route, see Figure 6-3 and Figure 6-4 Holland Green Village Development, Town of East Gwillimbury Transportation Study by WSP, Dated December 10, 2021

Project
HOLLAND GREEN VILLAGE
BLOCK 275
WEST HOLLAND LANDING
RESIDENTIAL SUBDIVISION 19T-94036



3 Bridgman Ave #201, Toronto, ON M5R 3V4

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Contractor must verify all dimensions and be responsible for same reporting any discrepancies to architect before commencing the work. The drawing is an instrument of service and shall remain the property of the architect; the copyright of this drawing and work executed from the same being reserved. Do not scale drawing.

This drawing shall not be used for construction unless signed by the architect.

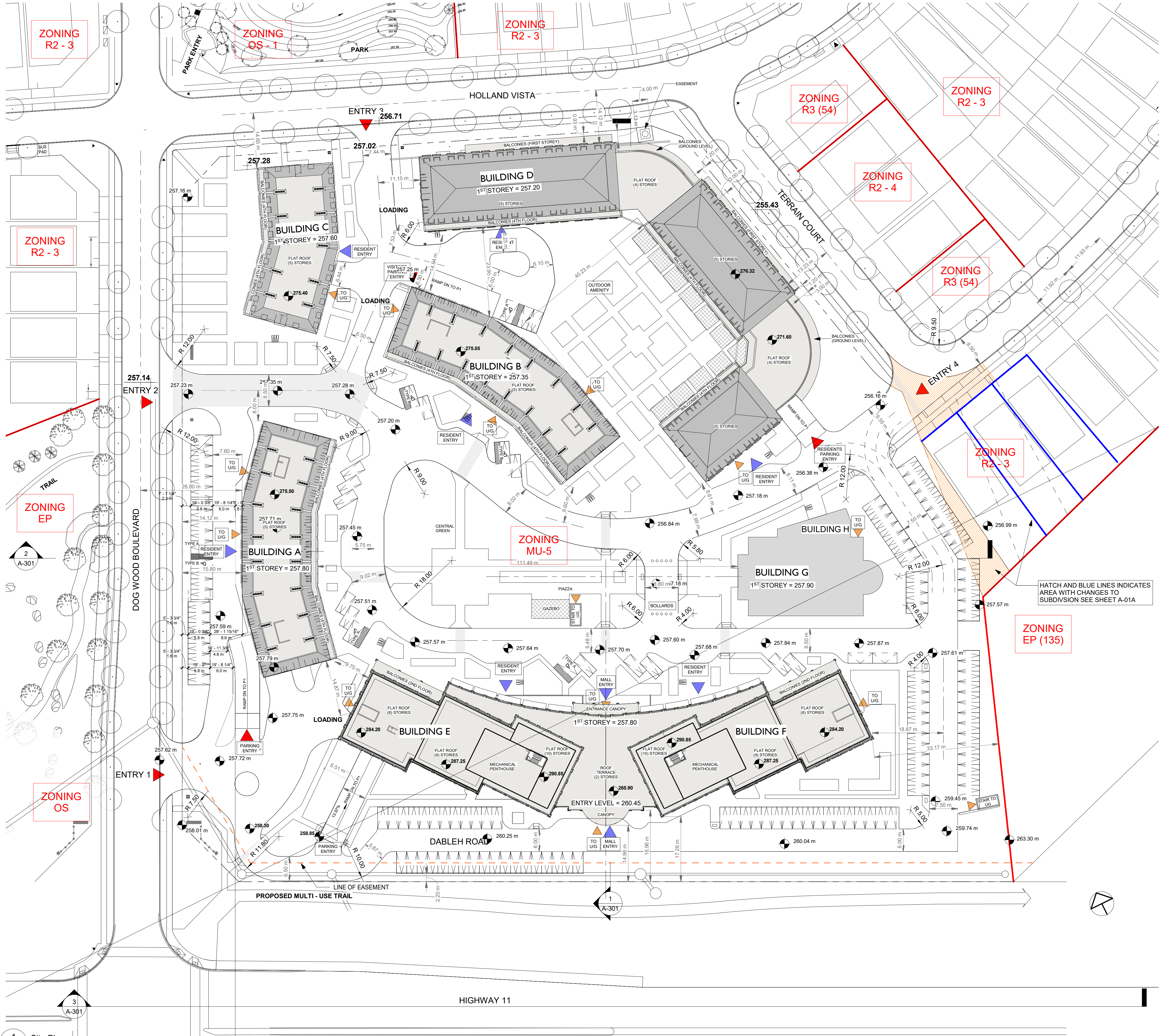


Professional Seals

See Revision Issue Date Above
Date: January 28, 2022 Project No.: 19575
Sheet Title: 19575

SITE PLAN

Dwg. File Name: C:\Users\jmakow\Documents\Holland Green_Site Model_R45_jin\Project.rvt
Scale As Indicated: Drawn: Checked:
Original: 36" x 24" Do not scale contents of this drawing: BT JWP OAA
Sheet Number: A-01



Benchmark No. No. 00819848150 Elevation 251.574 m
ELEVATIONS ARE BASED ON VERTICAL DATUM (COVID-1928-PRE-1978) AND ARE REFERRED TO THE TOWN OF EAST GWILLIMBURY BENCHMARK NO. 00819848150. STEEL ROD WITH BRASS CAP IS LOCATED ON THE WEST SIDE OF HIGHWAY 11, 5.2 KM NORTH OF JUNCTION OF HIGHWAY 9 AND HIGHWAY 11 IN NEWMARKET, 5.7 KM SOUTH OF JUNCTION OF HIGHWAY 11 AND HIGHWAY 88 IN BRADFORD, 1.7 KM SOUTH OF BATHURST STREET AND 27.7 KM WEST OF CENTRE OF SOUTHWEST LANE OF HIGHWAY 11. BENCHMARK IS SET FLUSH WITH GROUND LEVEL, 21.60 M SOUTHWEST OF NORTHWEST CORNER OF CATCH BASIN, 6.18 M SOUTHEAST FROM MAIL IN FENCE POST AND 38.00 M EAST OF STEEL FENCE POST, HAVING AN ELEVATION OF 251.574 m.

Benchmark
1 : 500

1 Site Plan
A-01 1 : 500