




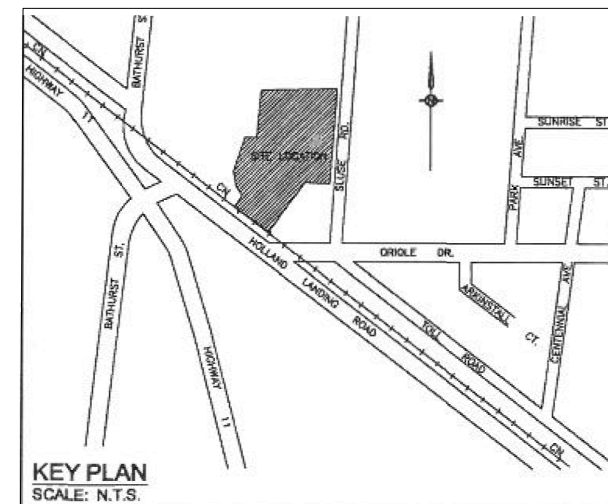


# SITE PLAN

## 48 Sluse Road, East Gwillimbury, Ontario

### LEGEND

-  Subject Lands
-  Proposed Concrete Pad
-  Servicing Line  
To Be Confirmed Through Details Provided by Others
-  Proposed Outdoor Storage  
(on gravel area approved by Site Plan dated May 31 2002, as amended July 22, 2015)
-  Proposed Outdoor Storage  
(beyond approved gravel area - no change in ground surface material proposed)



### LEGAL DESCRIPTION

SURVEY INFORMATION TAKEN FROM PLAN OF SURVEY OF  
PART OF BLOCK 8 AND PART OF LOTS B, D, AND E,  
BLOCK 1 AND PART OF UNNAMED ROAD  
REGISTERED PLAN 16  
GEOGRAPHIC TOWNSHIP OF EAST GWILLIMBURY  
NOW IN THE TOWN OF EAST GWILLIMBURY  
REGIONAL MUNICIPALITY OF YORK

SURVEY PREPARED BY:  
E.R. GARDEN LIMITED (O.L.S.)  
1260 JOURNEY'S END CIRCLE, UNIT  
NEWMARKET, ONTARIO, L3Y 7V1, TEL :  
(905)-895-5600, FAX : (905)-895-7127

### SITE SUMMARY

TOTAL SITE AREA	= 11.420 ha
EXISTING BUILDING AREA	= 0.841 ha
EXISTING BUILDING AREA (NON UTILITY SERVICED SHED)	= 0.061 ha
PROPOSED 490 SQ.M. CONCRETE PAD / OUTDOOR STORAGE AREA	= 1.240 ha
EXISTING PARKING AREA	= 2.002 ha
PROPOSED PARKING AREA	= 0.0 ha
MAX. COVERAGE ALLOWED	= 65.00%
PROPOSED OUTDOOR STORAGE COVERAGE	= 10.86%

### SETBACK REQUIREMENT:

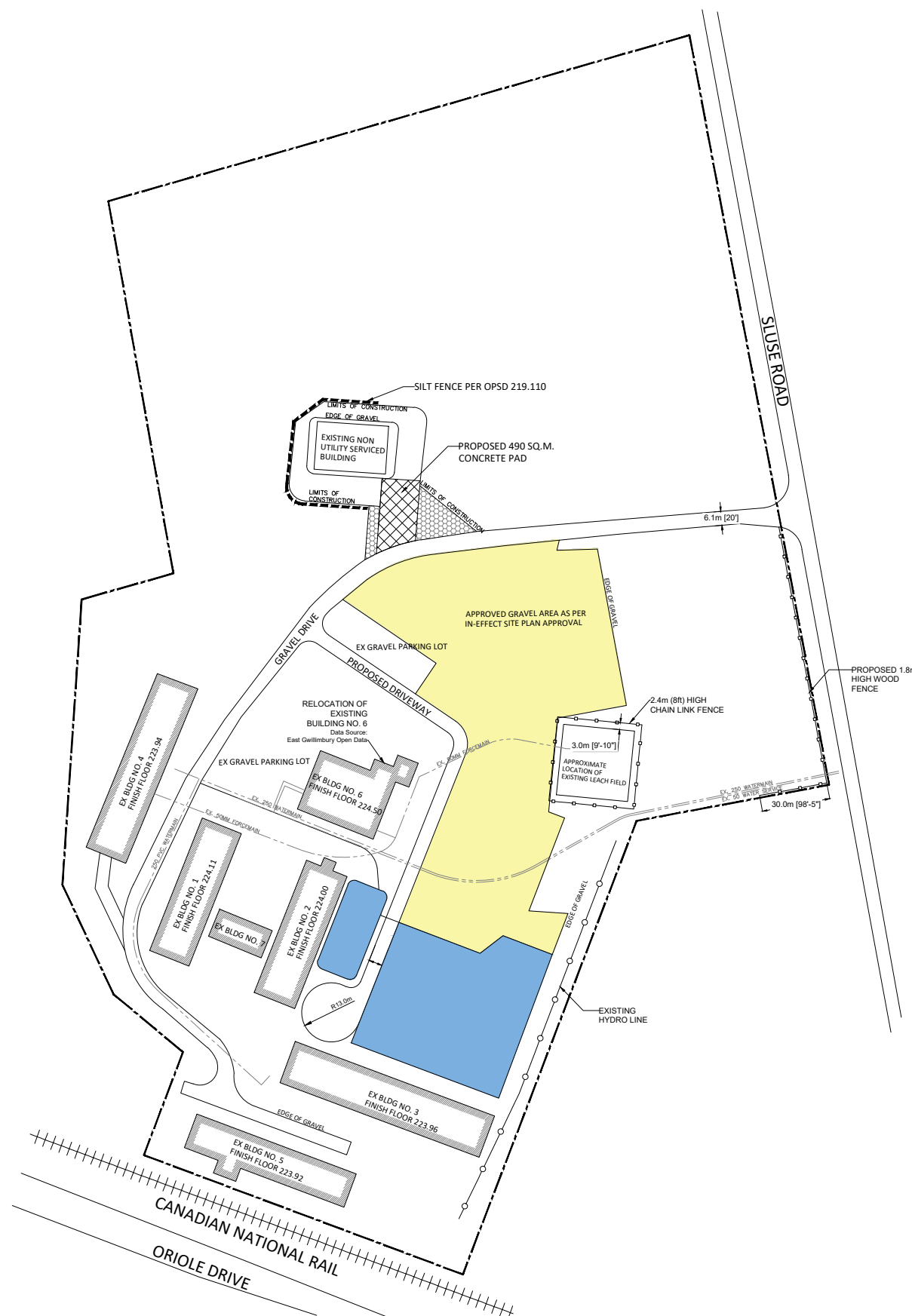
SETBACKS	REQUIRED
MIN. FRONT YARD	15.0 m
MIN. REAR YARD	11.0 m
MIN. SIDE YARD	3.0 m
MIN. FRONT YARD (FOR OUTDOOR STORAGE)	20.0 m

### PARKING PROVIDED:

NO ADDITIONAL PARKING  
NEEDED OR PROVIDED

TRUCKS	= 34 SPACES
CARS	= 30 SPACES
<b>TOTAL</b>	<b>= 64 SPACES</b>

ZONED: GENERAL INDUSTRIAL



Data Source: Approved Site Plan dated July 21 2015 prepared by R.J. Burnside

DATE: August 27, 2021

SCALE: 1:2500

\\woodfile01\docs\1436\H - 48 Sluse Rd, East Gwillimbury\2021\Figures\Site Plan\CAD\1436H - Site Plan - Aug 27 2021.dwg